

REGIONAL DISTRICT OF NORTH OKANAGAN

BYLAW No. 3007

A bylaw to rezone lands and amend the Zoning Map attached to the Regional District of North Okanagan Zoning Bylaw No. 3000, 2023 to change a zone designation.

WHEREAS pursuant to Section 479 [Zoning bylaws] of the *Local Government Act*, the Board of the Regional District of North Okanagan may, by Bylaw, divide the whole or part of the Regional District into zones, name each zone, establish boundaries for the zones and regulate uses within those zones;

AND WHEREAS the Board has created zones, named each zone, established boundaries for these zones and regulated uses within those zones by Bylaw No. 3000, being the “*Regional District of North Okanagan Zoning Bylaw No. 3000, 2023*” as amended;

AND WHEREAS, pursuant to Section 460 [*Development approval procedures*] of the *Local Government Act*, the Board must, by bylaw, define procedures under which an owner of land may apply for an amendment to a Zoning Bylaw and must consider every application for an amendment to the bylaw;

AND WHEREAS the Board has enacted the “*Regional District of North Okanagan Development Application Procedures and Administrative Fees Bylaw No. 2677, 2018*” as amended to establish procedures to amend an Official Community Plan, a Zoning Bylaw, or a Rural Land Use Bylaw, or to issue a Permit;

AND WHEREAS the Board has received an application to rezone property;

NOW THEREFORE, the Board of the Regional District of North Okanagan in open meeting assembled, hereby **ENACTS AS FOLLOWS**:

CITATION

1. This Bylaw may be cited as “**Zoning Amendment Bylaw No. 3007, 2024**”.

AMENDMENTS

2. The zoning of the property legally described as That Part of Lot 2, Block 5, Lying East of the Road Shown on Plan H433, Sec 23, Twp 8, ODYD, Plan 749, Except Plans 33945 & H16713 and located at Highway 97, Electoral Area “B” is hereby changed on Schedule “A” of the *Regional District of North Okanagan Zoning Bylaw No. 3000, 2023* from the **Country Residential (C.R) zone** to the **Service Commercial (C.4) zone**.

Advertised on	this	10th	day of	May, 2024
	this	13th	day of	May, 2024
Read a First, Second and Third Time	this		day of	, 2024
Approved by Minister of Transportation and Infrastructure (<i>Transportation Act s. 52(3)</i>)	this		day of	, 2024

ADOPTED

this

day of

, 2024

Chair

Deputy Corporate Officer

REGIONAL DISTRICT OF NORTH OKANAGAN

Extract from the Minutes of a Meeting of the

Board of Directors

Held on

Wednesday, April 17, 2024

Bylaw 3007 - Zoning Amendment

**WIEBE PROPERTIES INC. c/o TOPPING, V. MQN ARCHITECTS [File No. 23-1115-B-RZ]
Highway 97, Electoral Area "B"**

Moved and seconded

That notice be given in accordance with Section 467 of the *Local Government Act* that Zoning Amendment Bylaw No. 3007, 2024, which proposes to rezone the property legally described as That Part of Lot 2, Block 5, Lying E. of the Road Shown on Plan H433, Sec 23, Twp 8, ODYD, Plan 749, Except Plans 33945 & H16713 and located at Highway 97, Electoral Area "B" from the Country Residential (C.R) zone to the Light Industrial (I.1) zone, will be considered for First Reading at a future meeting; and further,

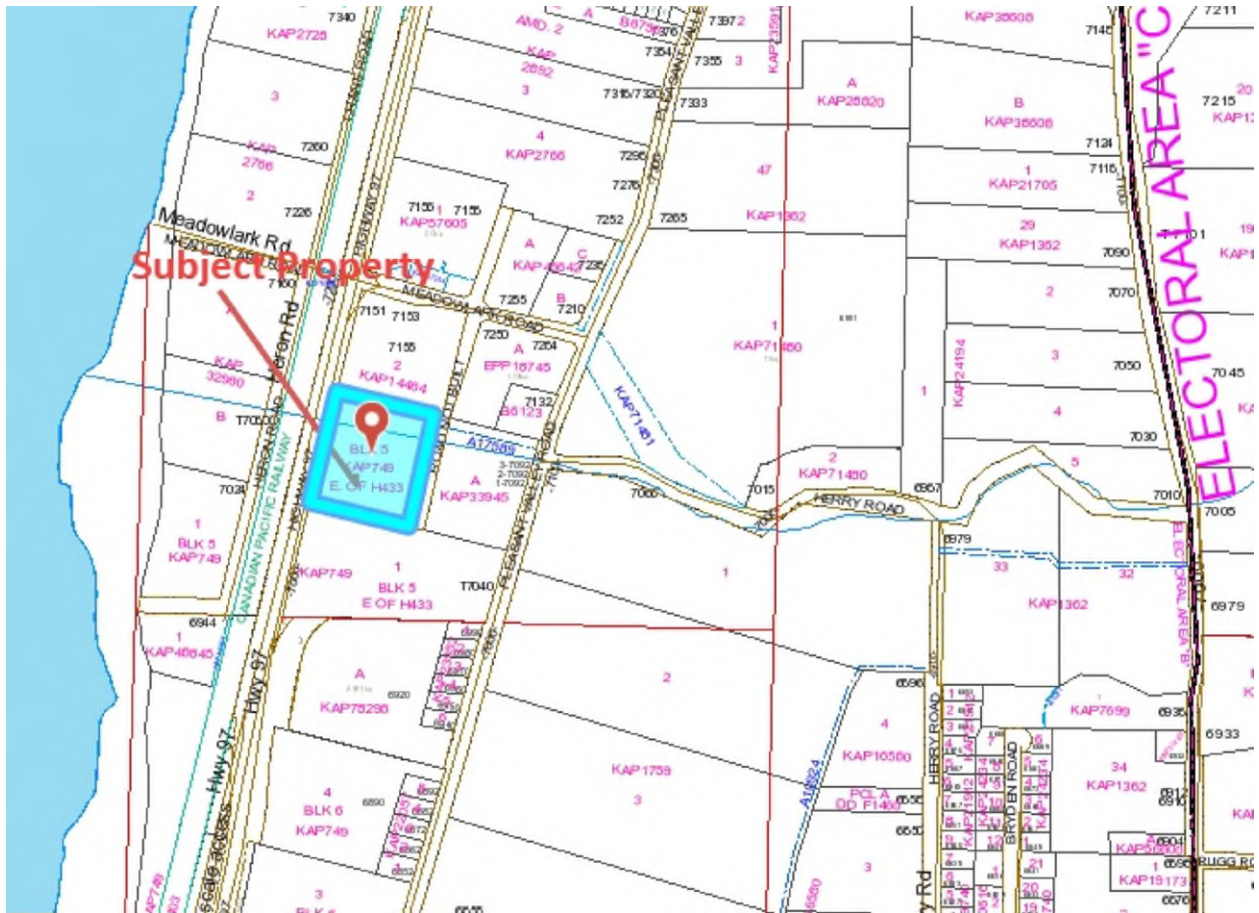
That Final Adoption of Zoning Amendment Bylaw No. 3007, 2024 be withheld until:

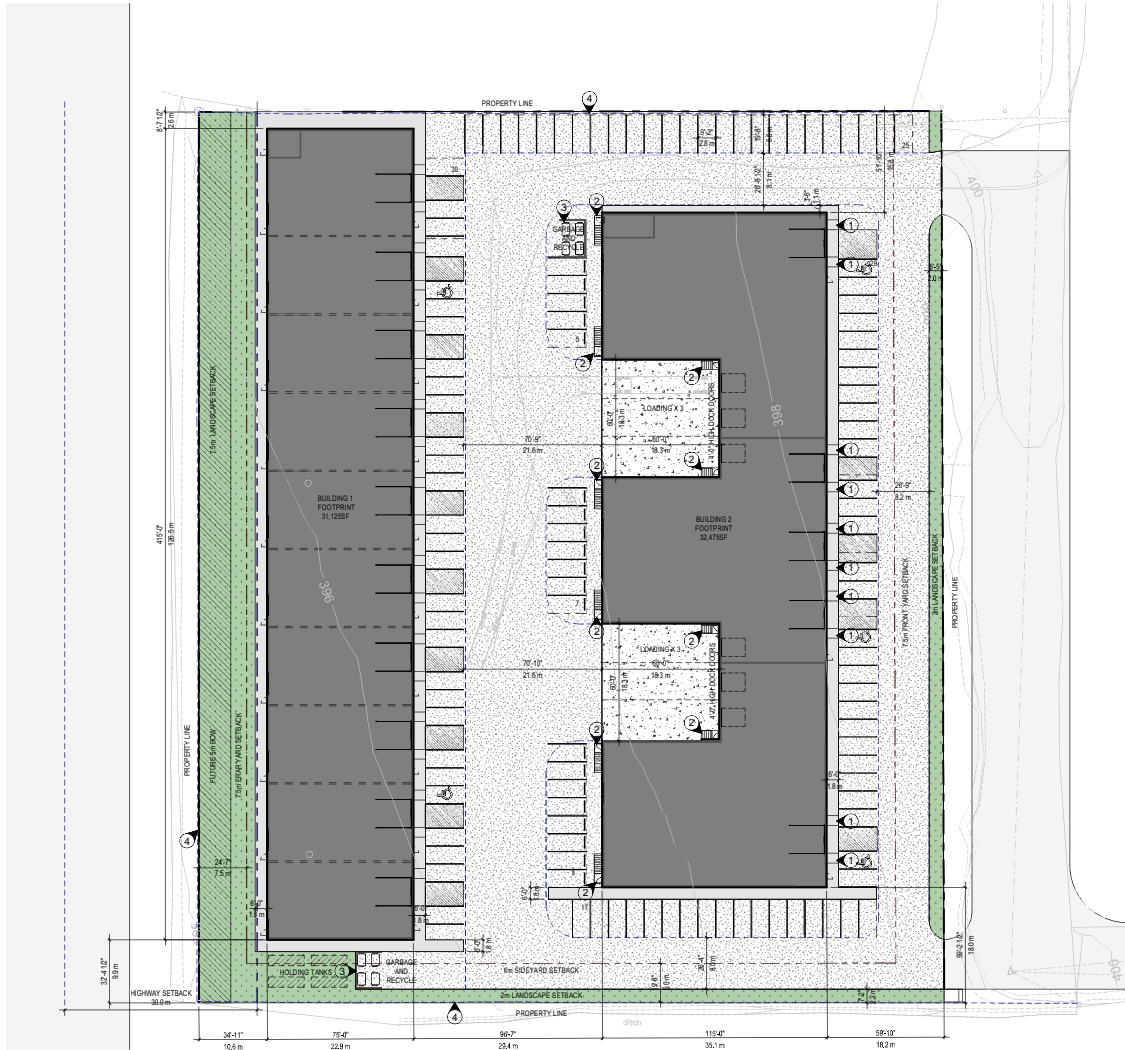
1. the applicant registers a covenant against the title of the property that would:
 - a. restrict all on-site septic sewage disposal to a total design flow maximum of 1400 litres per day, and that any permitted industrial use of the property that would exceed a design flow maximum of 1400 litres per day must be serviced by a holding tank designed and installed in compliance with Holding Tank Bylaw No. 671 until such time as the property is serviced by the North Okanagan Wastewater Recovery Project; and
 - b. require the property to be serviced by the North Okanagan Wastewater Recovery Project once the sewer lines associated with the system have been extended to the property; and
 - c. prohibit fee-simple and bare land strata subdivision of the property until it is serviced by the North Okanagan Wastewater Recovery Project; and
2. the applicant has made arrangements with the Regional District to secure a Statutory Right of Way for infrastructure related services associated with the North Okanagan Wastewater Recovery Project; and
3. water servicing issues associated with the proposed development have been addressed to the satisfaction of the Regional District; and
4. the applicant has made arrangements with the Regional District and the Ministry of Transportation and Infrastructure to construct a road and pedestrian corridor that would connect the subject property and the adjacent property to the south with Meadowlark Road via the road right-of-way on the east side of the property; and
5. a Development Permit that satisfies the requirements of the Riparian and Swan Lake Development Permit Area and Industrial Development Permit Area under the Electoral Areas "B" and "C" Official Community Plan has been approved for the proposed development.

CARRIED

ELECTORAL AREA "B" REZONING APPLICATION SUBJECT PROPERTY MAP

File: 23-1115-B-RZ
Location: Highway 97





CURRENT ZONE = C-R COUNTRY RESIDENTIAL
 PROPOSED ZONE = I-1 LIGHT INDUSTRIAL
 SITE AREA = 173,764.89 SF / 1,6143.27 m² / 4 acres
 BUILDING SITE COVERAGE = 46% MAX
 BUILDING COVERAGE = 63.600% / 5,908 m² (23%)
 PARKING = INDUSTRIAL
 = 1.5 / 100 m² GROSS LEASABLE AREA
 = 89 STALLS REQUIRED
 = 27 PROVIDED
 LOADING = COMMERCIAL / BUSINESS / INDUSTRY
 = 4 REQUIRED
 = 6 PROVIDED
 HEIGHT
 MAX HEIGHT: 12m
 SETBACKS
 MIN. FRONT YARD: 6.0m
 MIN. SIDE YARD (EXTERIOR): 6.0m
 MIN. SIDE YARD (INTERIOR FLANKING COMMERCIAL): 3.0m
 MIN. SIDE YARD (INTERIOR FLANKING RESIDENTIAL): 6.0m
 MIN. REAR YARD: 7.5m

BUILDING CODE ANALYSIS
 BUILDING AREA (FOOTPRINT):
 BLDG 1 - 31,126SF
 BLDG 2 - 32,476SF
 MAJOR OCCUPANCY: F2 (MEDIUM HAZARD INDUSTRIAL)
 NUMBER OF STOREYS: 2
 MEZZANINE: YES
 BUILDING CLASSIFICATION: 3.2.2.77 GROUP F, DIVISION 2, UP TO 4 STOREYS (H.800M2 MAX IF 2 STOREYS); SPRINKLERED
 TYPE OF CONSTRUCTION: NON COMBUSTIBLE
 SPRINKLER SYSTEM: YES
 FIRE ALARM REQUIRED: YES
 FLOOR RATING: 45MIN
 MEZZANINE RATING: 45MIN
 HYDRANT LOCATION: WITHIN 45M OF FIRE DEPARTMENT CONNECTION

SITE LEGEND

- BUILDING
- CONCRETE PAD
- LANDSCAPING
- ASPHALT PAVING
- CONCRETE SIDEWALK

- ARCHITECTURAL LEVEL
GEODEIC ELEVATION
- WORK POINT
- BOLLARD SEE DETAIL THIS SHEET

GENERAL NOTES

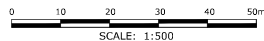
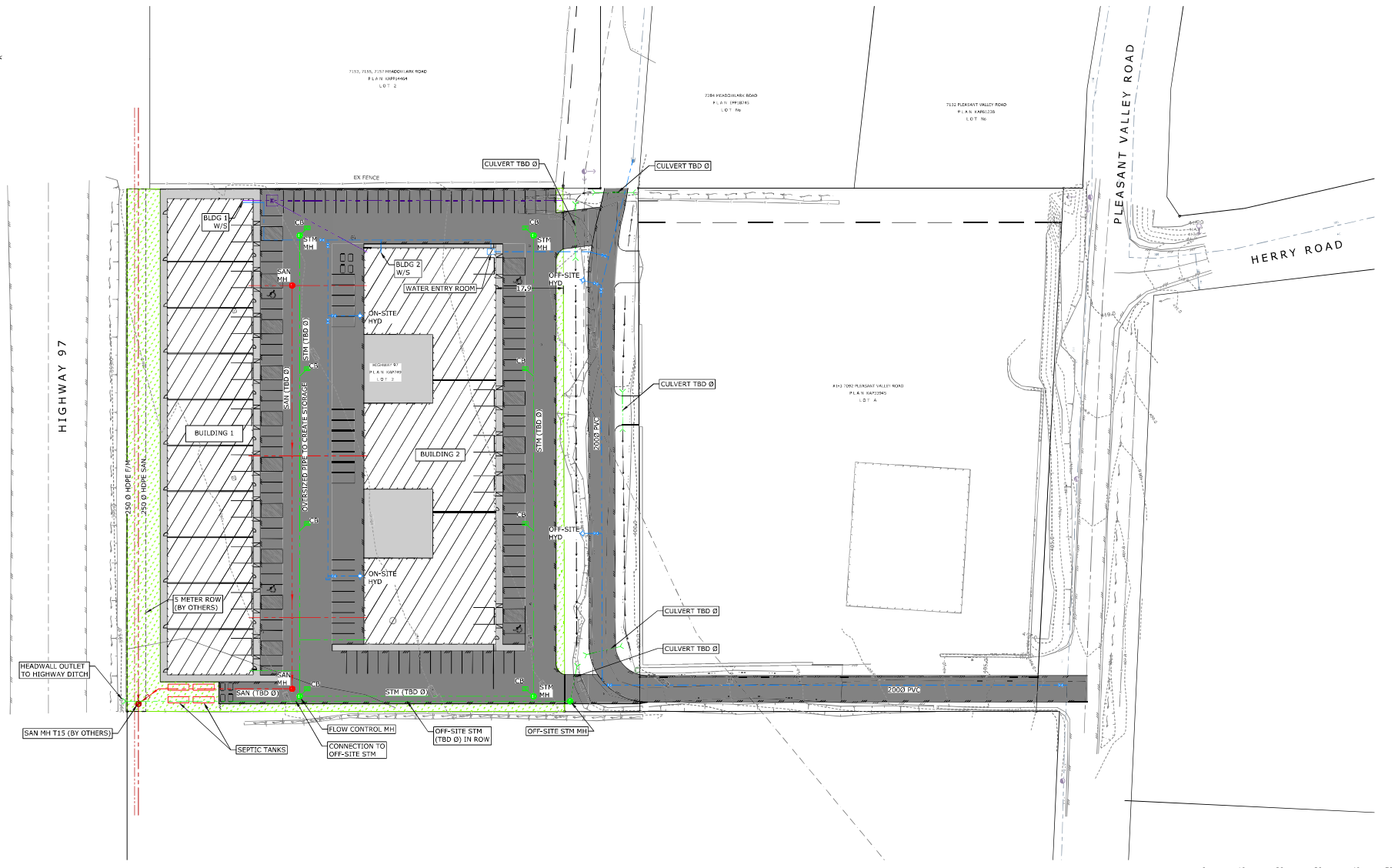
1. REFER TO CIVIL, MECHANICAL & ELECTRICAL DRAWINGS FOR SITE DETAILS. COORDINATE AS REQUIRED
2. CONFIRM ALL FINAL GRADES ON SITE. REFER TO CIVIL DRAWINGS.
3. PROVIDE IRRIGATION TO ALL LANDSCAPED AREAS. REFER TO MECHANICAL.
4. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DETAILS. COORDINATE AS REQUIRED

CONSTRUCTION NOTES

- ① DROPPED CURB (TYP)
- ② METAL STAIR
- ③ WASTE ENCLOSURE
- ④ EXISTING CHAIN LINK FENCE. TO BE REMOVED AND REINSTALLED

1 SITE PLAN





USER: michaels
 PROJECT: 1723.02-2024-01-15-30% DESIGN (FINAL) (REV. 1723.02-2024-01-15-30% DESIGN)
 DATE: 2024-01-15
 FILE: E:\projects\1723.02 - wiebe business park serv - final\dwg\1723.02-2024-01-15-30% design.dwg

NO.	DATE	BY	DESCRIPTION
1	JAN-15-2024	MG	30% DESIGN
2	NOV-14-2023	MG	ISSUED FOR REDWORK AND DEVELOPMENT PERMIT

LEGEND:	
(Symbol)	(EXISTING SYMBOLS SHOWN GREY/SOLID)
(Symbol)	EDGE OF ASPHALT
(Symbol)	FENCELINE
(Symbol)	BUILDING
(Symbol)	TOP OF BANK
(Symbol)	BOTTOM OF BANK
(Symbol)	SEWER
(Symbol)	WATER
(Symbol)	STORM DRAIN
(Symbol)	WATER
(Symbol)	HYDRO/TEL
(Symbol)	GLY WIRE
(Symbol)	ANCHOR POLE
(Symbol)	HYDRANT POLE
(Symbol)	POLE W/ TRANSFORMER
(Symbol)	HYDRO TUB/Vault
(Symbol)	TEL TUB/Vault
(Symbol)	SEWER TUB/Vault
(Symbol)	JUNCTION BOX
(Symbol)	SERVICE BOX
(Symbol)	WATER VALVE
(Symbol)	LOW POWER TRANSFORMER
(Symbol)	WATER
(Symbol)	GAS
(Symbol)	STREET LIGHT
(Symbol)	CAP
(Symbol)	INSPECTION CHAMBER
(Symbol)	SANITARY MANHOLE
(Symbol)	POLE W/ TRANSFORMER
(Symbol)	DRAINAGE MANHOLE
(Symbol)	DRY WELL
(Symbol)	CATCH-BASIN MANHOLE
(Symbol)	DRAINAGE INVERT
(Symbol)	HEADWALL
(Symbol)	AIR VALVE
(Symbol)	WATER VALVE
(Symbol)	CURB STOP
(Symbol)	TRAFFIC SIGNAL
(Symbol)	FIRE HYDRANT
(Symbol)	BLOW-OFF
(Symbol)	REDUCER
(Symbol)	CULVERT
(Symbol)	PROPERTY PIN
(Symbol)	MONUMENT
(Symbol)	SCREEDOLE
(Symbol)	STAIR
(Symbol)	TREE

EGBC PERMIT TO PRACTICE No. 1001446

MONAGHAN
ENGINEERING & CONSULTING LTD.

3710B 28th Street, Vernon, BC, V1T 9X2 Ph: (250) 503-1033 Fax: (250) 503-1024

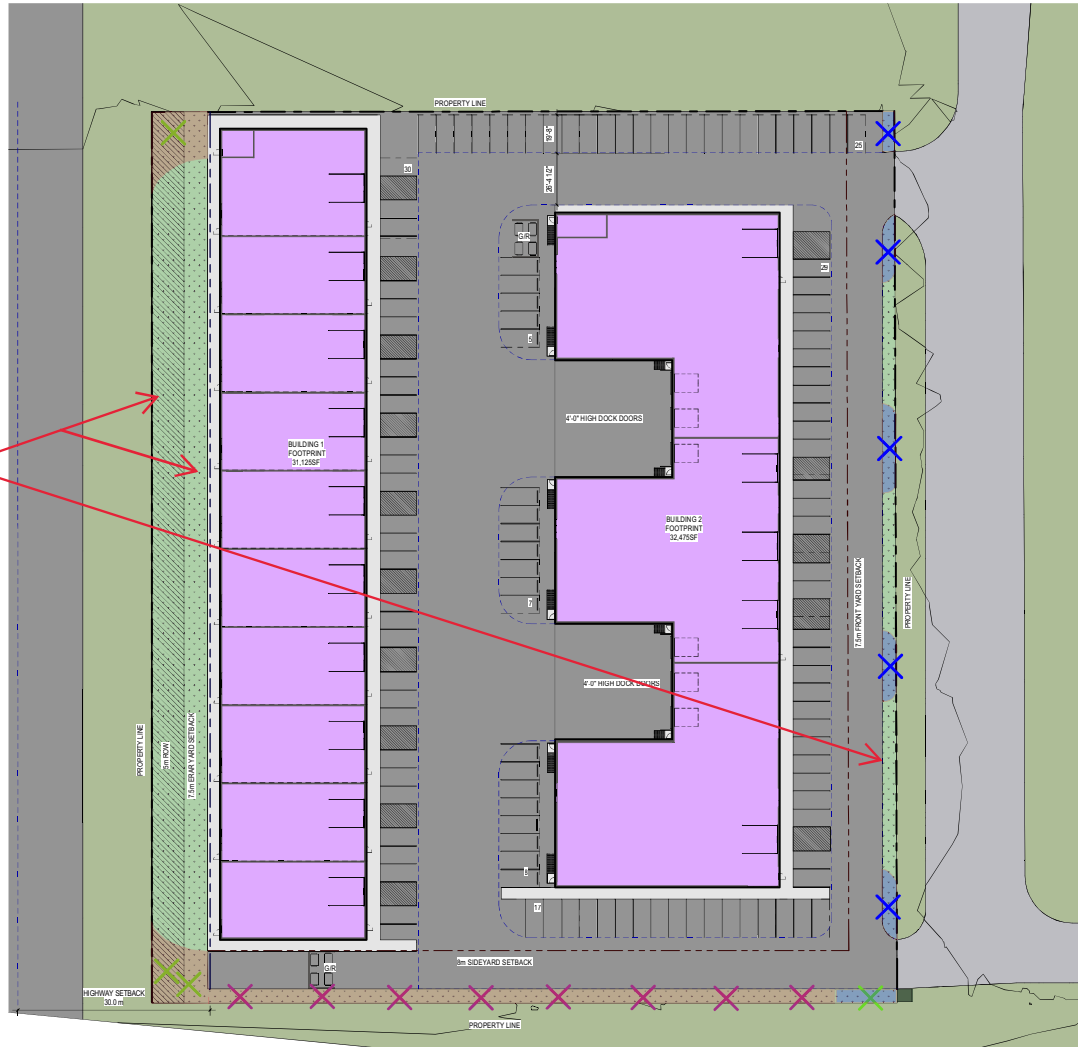
Scale	1:500
Date	2023-10
Designed	<DSGN>
Drawn	MG
Checked	###



WIEBE PROPERTIES		Project No.	1723.02
WIEBE BUSINESS PARK SERVICING PLAN		Client File No.	-
		Sheet No.	1 OF 4
Drawing No.	Rev.	C100	B

Proposed Landscape Design

by: Timmermans Landscaping Ltd. Drawn by: DW Date: Nov. 9, 2023



Lawns in Turf,
typical front and
back.

CURRENT ZONE = C.R COUNTRY RESIDENTIAL
PROPOSED ZONE = C.4 SERVICE COMMERCIAL

SITE AREA = 173,764.69 ft² / 1,6143.27 m² / 4 acre
BUILDING SITE COVERAGE = 50% MAX

BUILDING COVERAGE = 63,600ft² / 5,908 m² (37%)

PARKING = INDUSTRIAL
= 1.5 / 100 m² GROSS LEASABLE AREA
= 89 STALLS REQUIRED
= 121 PROVIDED

LOADING = COMMERCIAL / BUSINESS / INDUSTRY
= 4 REQUIRED
= 6 PROVIDED

Legend:

Coniferous Trees: 4

- × - Picea pungens, Colorado Blue Spruce, 2.0m Ht, Quantity: 4

Deciduous Trees: 13

- × -Carpinus betulus, European Hornbeam, 6cm Cal./1.8m Std., Quantity: 8
- × -Syringa reticulata 'Ivory Silk', Ivory Silk Lilac Tree, 5cm Cal./1.2m Std. Quantity: 5

Planting bed Type 1 (378 sq.m.); Total: 252 shrubs

- Cornus sericea, #2 pot, Quantity: 42
- Juniperus horizontalis 'Blue', #2, Quantity: 42
- Juniperus horizontalis 'Wiltonii', #2 pot, Quantity: 42
- Pinus Mugo, #2 pot, Quantity: 42
- Rosa Rugosa (pink), #2 pot, Quantity: 42
- Spirea nipponica 'Snowmound', #2 pot, Quantity: 2

Planting bed Type 2 (129 sq.m.); Total: 227 shrubs (total perennials: 69)

- Hemerocallis 'Stella do Oro', #1 pot, Quantity: 23
- Juniperus horizontalis 'Blue', #2, Quantity: 52
- Juniperus horizontalis 'Wiltonii', #2 pot, Quantity: 52
- Rosa Rugosa (pink), #2 pot, Quantity: 52
- Salvia nemorosa, #1 pot, Quantity: 23
- Sedum 'Herbsfreude' (Autumn Joy), #1 pot, Quantity: 23

Planting Notes:

- Topsoil to be locally sourced at a depth of 450mm
- Planting Beds to be topped with 75mm of 25mm locally sourced decorative round rock on landscape fabric
- All beds to be drip line irrigated

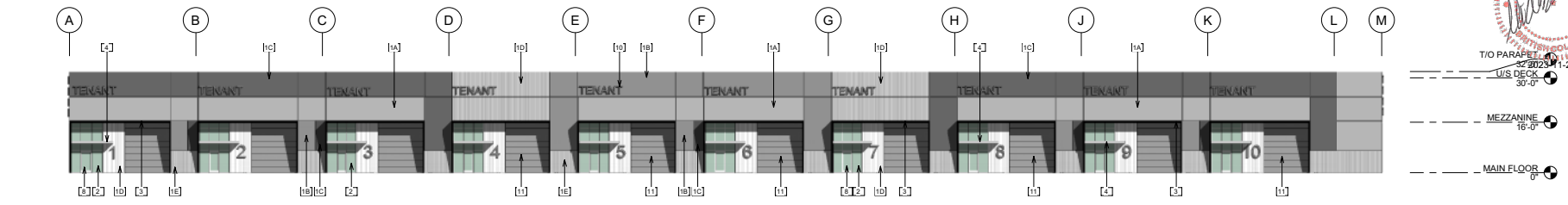
Lawn Notes: (1250 sq.m.)

- Topsoil to be locally sourced and a depth of 150mm
- All onsite lawns to be irrigated

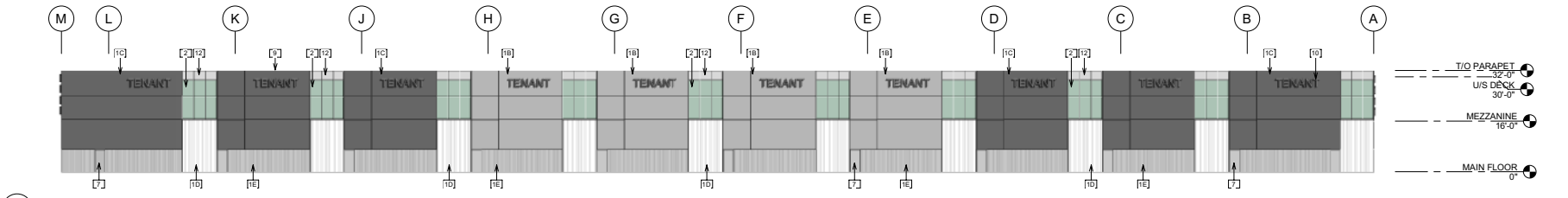
Perimeter fences by owner if required

1 SITE PLAN

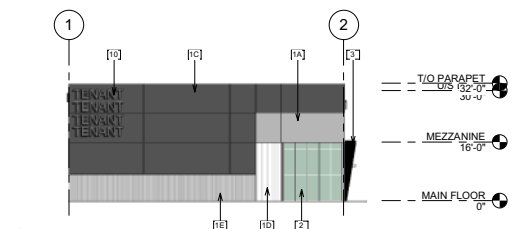
I confirmed



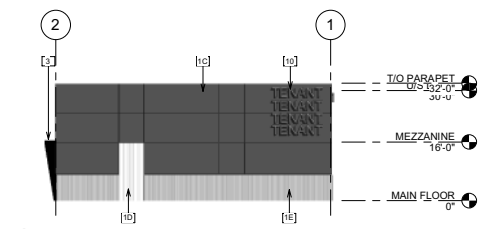
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



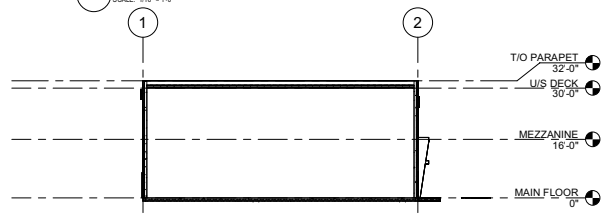
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



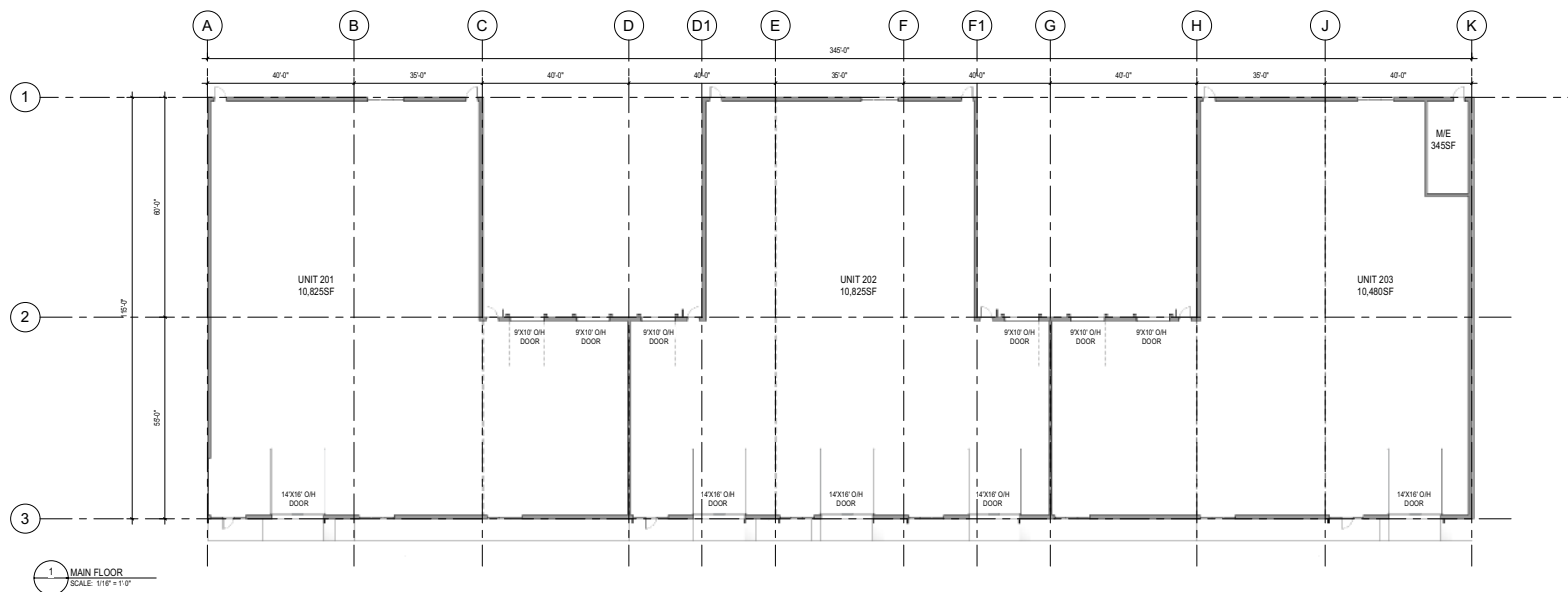
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



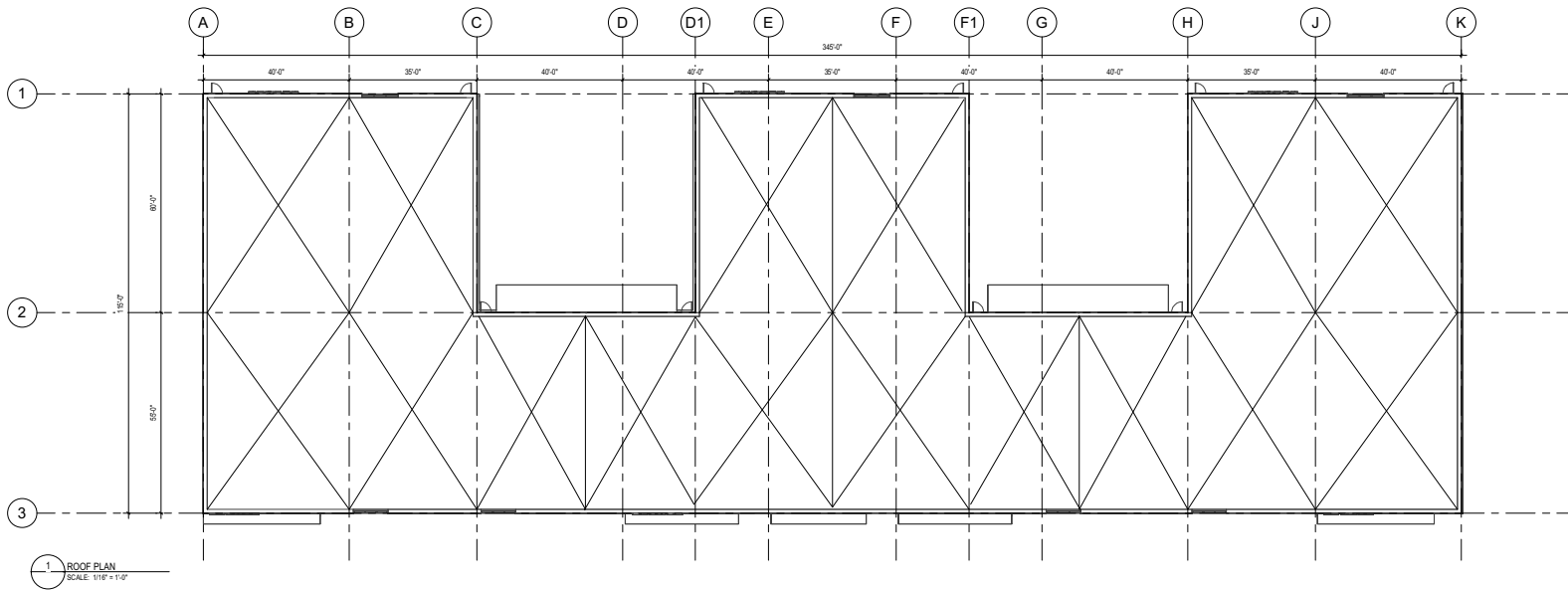
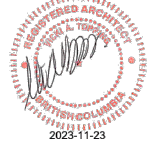
5 BUILDING SECTION
SCALE: 1/8" = 1'-0"

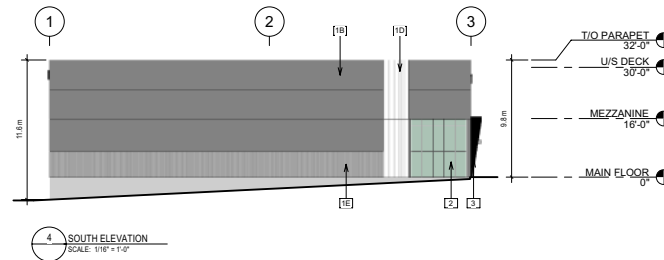
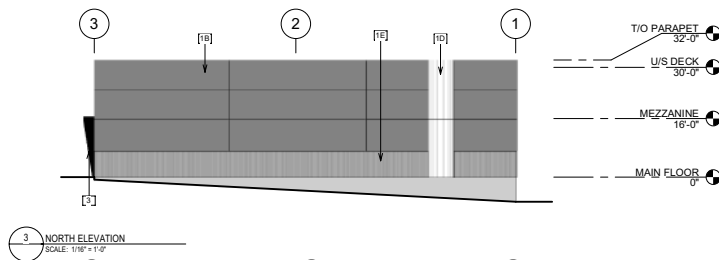
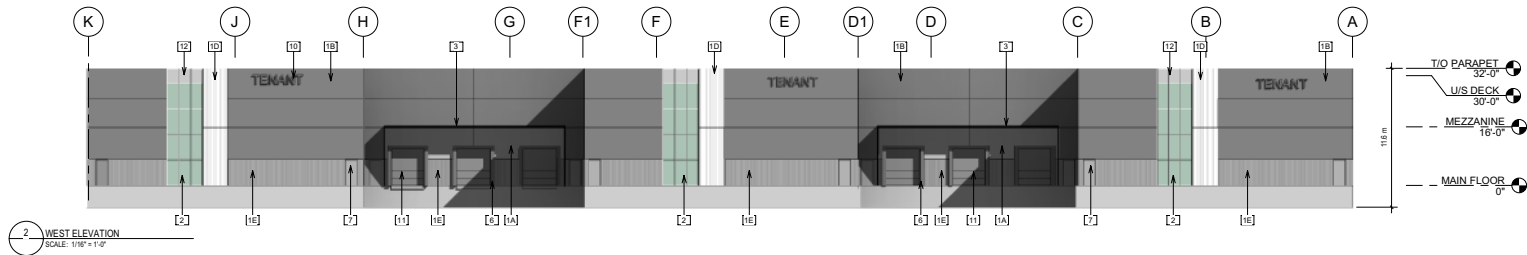
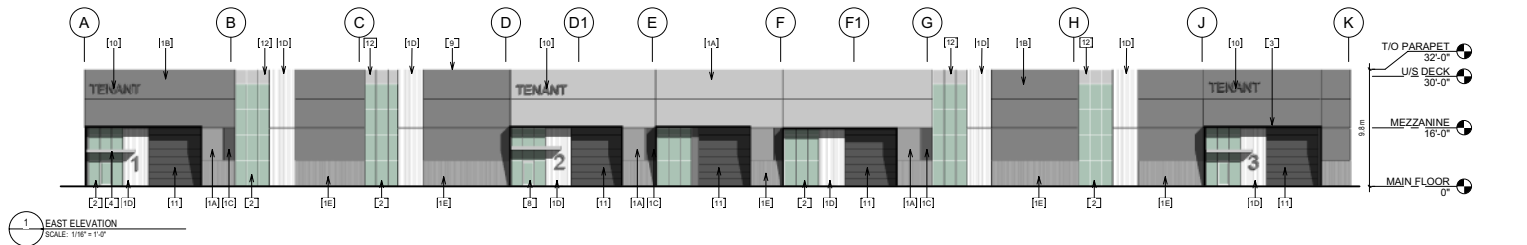
ELEVATION KEYNOTES	
1A	CONCRETE PANEL COLOUR LIGHT GREY PROFILE: SMOOTH
1B	CONCRETE PANEL COLOUR GREY PROFILE: SMOOTH
1C	CONCRETE PANEL COLOUR DARK GREY PROFILE: SMOOTH
1D	CONCRETE PANEL COLOUR WHITE PROFILE: RIBBED
1E	CONCRETE PANEL COLOUR LIGHT GREY PROFILE: RIBBED
2	CLEAR ANODIZED ALUMINUM GLAZING FRAME c/w CLEAR GLAZING
3	BLACK METAL SHROUD
4	CANOPY c/w ALUMINUM SOFFIT
5	EXTERIOR STAIRS PAINTED BLACK.
6	DOCK DOOR BUMPER AND SEAL
7	INSULATED METAL DOOR PAINTED TO MATCH ADJACENT WALL
8	CLEAR ANODIZED ALUMINUM STORE FRONT DOOR
9	PREFINISHED METAL FLASHING COLOUR: TO MATCH ADJACENT FINISH
10	SIGNAGE BY TENANT
11	INSULATED OVERHEAD DOOR
12	INSULATED BACK PAINTED SPANDREL GLAZING PANEL COLOUR LIGHT GREY

I confirmed

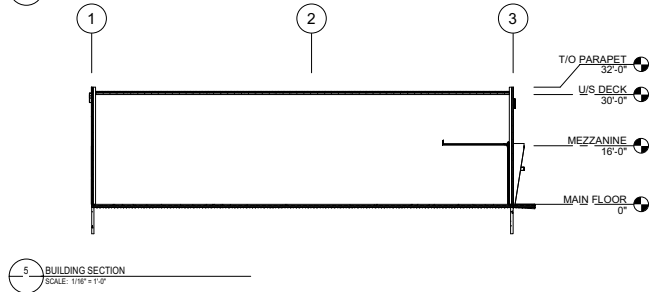


I confirmed

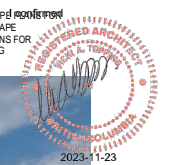




ELEVATION KEYNOTES	
1A	CONCRETE PANEL/COLOUR LIGHT GREY PROFILE: SMOOTH
1B	CONCRETE PANEL/COLOUR GREY PROFILE: SMOOTH
1C	CONCRETE PANEL/COLOUR DARK GREY PROFILE: SMOOTH
1D	CONCRETE PANEL/COLOUR WHITE PROFILE: RIBBED
1E	CONCRETE PANEL/COLOUR LIGHT GREY PROFILE: RIBBED
2	CLEAR ANODIZED ALUMINUM GLAZING FRAME c/w CLEAR GLAZING
3	BLACK METAL SHROUD
4	CANOPY c/w ALUMINUM SOFFIT
5	EXTERIOR STAIRS PAINTED BLACK.
6	DOCK DOOR BUMPER AND SEAL
7	INSULATED METAL DOOR (PAINTED TO MATCH ADJACENT WALL)
8	CLEAR ANODIZED ALUMINUM STORE FRONT DOOR
9	PREFINISHED METAL FLASHING/COLOUR: TO MATCH ADJACENT FINISH
10	SIGNAGE BY TENANT
11	INSULATED OVERHEAD DOOR
12	INSULATED BACK PAINTED SPANDREL GLAZING PANEL / COLOUR LIGHT GREY



NOTE:
REFER TO LANDSCAPE ARCHITECTURE
PROPOSED LANDSCAPE
REFER TO CIVIL PLANS FOR
PROPOSED GRADING



BUILDING 1



BUILDING 1



BUILDING 2



BUILDING 2



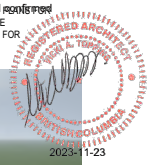
BUILDING 1/2



SITE



NOTE:
 REFER TO LANDSCAPE ARCHITECTURE
 PROPOSED LANDSCAPE ARCHITECTURE
 REFER TO CIVIL PLANS FOR
 PROPOSED GRADING



SITE



SITE

