



PLANNING DEPARTMENT INFORMATION REPORT

REZONING APPLICATION

DATE:	October 18, 2024
FILE NO.:	23-1096-B-RZ
OWNER/APPLICANT:	Maria Eulalia Hernandez Ramirez
LEGAL DESCRIPTION:	Lot 1, Sec 23, Twp 8, ODYD Plan 13884, Except Plan H17039
P.I.D.#:	005-219-957
CIVIC ADDRESS:	7615 Highway 97
PROPERTY SIZE:	0.24 ha
SERVICING:	Greater Vernon Water and on-site septic disposal
PRESENT ZONING:	Residential Two Family (R.2)
PROPOSED ZONING:	Light Industrial (I.1)
O.C.P. DESIGNATION:	Mixed Commercial / Light Industrial
PROPOSED USE:	Light industrial manufacturing business with associated indoor sales and office areas

PLANNING DEPARTMENT RECOMMENDATION:

That notice be given in accordance with Section 467 of the *Local Government Act* that Zoning Amendment Bylaw No. 3006, 2024, which proposes to rezone the property legally described as Lot 1, Sec 23, Twp 8, ODYD Plan 13884, Except Plan H17039 and located at 7615 Highway 97, Electoral Area "B" from the Residential Two Family (R.2) zone to the Light Industrial (I.1) zone, will be considered for First Reading at a future meeting; and further,

That Second Reading of Zoning Amendment Bylaw No. 3006, 2024 be withheld until the applicant has provided an estimate from a qualified professional of the maximum daily sewage flow for the proposed use of the subject property; and further,

That Final Adoption of Zoning Amendment Bylaw No. 3006, 2024 be withheld until:

1. a covenant is registered against the title of the property that would require the property to be connected to a community sewer system once the sewer lines associated with the system have been extended to the subject property; and

2. a covenant is registered against the title of the property that would prohibit fee-simple or strata subdivision of the property until a community sewer system is available; and
3. water servicing issues associated with the proposed development have been addressed to the satisfaction of the Regional District; and
4. a Development Permit that satisfies the requirements of the Riparian and Swan Lake Development Permit Area and Industrial Development Permit Area has been approved for the proposed development of the subject property; and
5. the applicant has made arrangements with the Regional District to provide a pedestrian corridor along the frontage road adjacent to the subject property.

SUMMARY:

This report relates to an application to rezone the property located at 7615 Highway 97 from the Residential Two Family (R.2) zone to the Light Industrial (I.1) zone. The applicant is proposing to develop a light industrial manufacturing shop with associated indoor sales and office areas. The Planning Department recommends that the application receive favourable consideration as it complies with the Electoral Areas “B” and “C” Official Community Plan Mixed Commercial / Light Industrial land use designation of the subject property and the applicable policies in the OCP. Staff recommend that Final Adoption of the Zoning Amendment Bylaw associated with the subject application be withheld until the applicant has addressed the pedestrian corridor, water, and sewer conditions outlined above and a Development Permit has been approved for the proposed development.

BACKGROUND:

Site Context

The following orthophoto of the subject and surrounding properties was taken in 2022:



The subject property is located at the southeast corner of the intersection between Elmwood Road and the Highway 97 frontage road. At present, access is obtained from the frontage road to the west; however, the property is currently vacant. The property is flat and grassy, with trees along the southern and eastern (rear) boundaries.

The subject property is zoned Residential Two Family (R.2) and is designated Mixed Commercial/Light Industrial in the Electoral Areas “B” and “C” Official Community Plan (OCP). Adjoining properties to the east and south are zoned and designated the same as the subject property. Properties to the north across Elmwood Road are zoned Country Residential (C.R) and also designated Mixed Commercial/Light Industrial.

The Proposal

The applicant is proposing to construct an industrial building with a gross floor area of 1004 m² to provide for a light industrial manufacturing facility and associated sales and office area. The building would contain 801 m² of space on the ground floor and 203 m² of office space on a mezzanine floor. The applicant proposes to service the proposed development with water services from Greater Vernon Water and an on-site septic system or holding tank until such time as the property can be serviced by the proposed North Okanagan Wastewater Recovery System.

Eighteen parking spaces and two loading bays are shown to support the proposed use. One-way traffic circulation is proposed with angled parking spaces. Access is proposed from Elmwood Road. A statutory right-of-way runs along the northern boundary of the subject property over existing water infrastructure. The agreement prohibits fencing or the planting of trees or shrubs but does not prohibit access across the easement.

PLANNING ANALYSIS:

The Planning Department recommends that the subject rezoning application be supported as it complies with the Mixed Commercial / Light Industrial land use designation of the subject property and the applicable policies of the Electoral Areas “B” and “C” Official Community Plan. The development proposal is for a light industrial manufacturing shop and associated indoor sales and office area which is a light industrial use that complies with the following OCP Policies:

- The Swan Lake Corridor with its mixed commercial and light industrial designation is to provide much needed light industrial, service commercial and large format commercial uses for the region that cannot be accommodated in other areas.
- Within the north gateway (Swan Lake Corridor), encourage a mixture of Commercial and Industrial uses east of the highway with a form and character that respects the importance of the gateway location and is consistent with the area’s unique character.

The proposed use would be compatible with the future land use of the surrounding area, and while the rezoning proposal would introduce industrial development into the area, the subject property shares two boundaries with Highway 97 and Elmwood Road which provides a separation between the subject property and properties to the north and west. Additional setbacks required by the Zoning Bylaw would also serve to provide an additional buffer between any new development on the subject property and adjacent properties to the south and east. Landscaping and screening required will also assist in reducing the impact of new industrial development on existing more sensitive uses. The surrounding area is currently used for residential and rural residential purposes.

The applicant proposes to service the proposed development with an on-site septic system or holding tank until such time as the property can be serviced by the proposed North Okanagan Wastewater Recovery System. The Swan Lake Commercial District Policies of the OCP state that, due to the sensitive environmental conditions within the Swan Lake Corridor, consideration of zoning changes will be based on the maximum daily sewage flow from the use of the subject property. Where the proposed land use generates a maximum daily sewage flow of less than 1400 L per day, the RDNO will consider a rezoning based on the recommendations of a consulting engineer and a covenant being registered on title to not permit a land use that exceeds that maximum. Where the proposed land use generates more than 1400 L per day, the RDNO will consider a rezoning based on a hydrological assessment from a hydrological engineer to review the local groundwater and surface water conditions with respect to Swan Lake or a tributary ditch or watercourse, a geotechnical evaluation from a geotechnical engineer that reviews local soil conditions with the identification of a primary and separate backup drainfield location which areas would be protected by a covenant, and a design for sewage disposal and stormwater management system prepared by a civil engineer. As the applicant has not provided an estimate of the maximum daily sewage flow, it is recommended that this be required prior to Second Reading of the subject zoning amendment bylaw.

The location of the proposed development is part of the proposed service area for the North Okanagan Wastewater Recovery Project which would extend sanitary sewer service to the subject property. To address the policies of the OCP, the Planning Department recommends that the applicant be required to register a covenant against the title of the property that would require the property to be connected to the community sewer system once the sewer lines associated with the system have been extended to the property. This would help support the development and operation of the proposed system.

Infrastructure for the North Okanagan Wastewater Recovery Project is to be placed within the frontage road at this location. Therefore, there is no requirement to obtain a statutory right-of-way over this property for infrastructure associated with the project.

OCP Policy for the Swan Lake Commercial District states that “as a condition precedent for the approval of a rezoning bylaw, the Regional District will generally request that a covenant be registered to prohibit subdivision of land until a community sewer system is available.” Therefore, it is recommended that a covenant be registered against the title of the property that would prohibit fee-simple or strata subdivision of the property until community sewer is available.

A Hydraulic Model Inquiry will need to be undertaken as part of the rezoning to establish the full extent of water infrastructure upgrades that would be required to support the proposed development. An initial assessment indicates that upgrades to existing infrastructure would be required to support the development. As such it is recommended that a condition of Final Adoption be included to ensure that water servicing requirements have been met to the satisfaction of the RDNO Utilities Department.

It is recommended that a Development Permit which addresses the requirements of the Industrial Development Permit Area and Riparian and Swan Lake Development Permit Area be approved prior to Final Adoption of the rezoning. This will ensure that storm and wastewater will be appropriately addressed, that the form and character of the building is acceptable, and that parking, loading, and landscaping requirements are satisfied in accordance with the requirements of the OCP and Zoning Bylaw.

The Swan Lake Commercial Corridor Guidelines state that site planning and landscaping should be used to provide continuous pedestrian access and circulation along the length of the Swan Lake Corridor as identified in Schedule "H" (see attached). As such, it is recommended that prior to Final Adoption of the rezoning, the applicant be required to make suitable arrangements with the Regional District to provide a pedestrian corridor along the western boundary of the subject property in order to provide for a pedestrian corridor adjacent to the frontage road. This would be consistent with OCP Transportation Policies.

As outlined in the policies of the Electoral Areas "B" and "C" OCP, the Swan Lake Corridor is intended to provide light industrial, service commercial and large format commercial uses that cannot be accommodated in other areas of the region. The Service Commercial (C.4) and Light Industrial (I.1) zones allow for food services and retail sales. During the development of the Swan Lake Commercial Area and Neighbourhood Plan, it was acknowledged that the corridor was intended to provide employment lands and not uses that would draw highway traffic into the area for food services and retail sales. Should the Board wish to place further limitations on the establishment of food services and retail sales within the area, they could direct staff to review the uses permitted in these zones.

Public Hearing

On November 25, 2021, Bill 26 received Royal Assent. This brought changes to the *Local Government Act* which state that:

- a local government is not required to hold a Public Hearing on a zoning amendment bylaw if the bylaw is consistent with an official community plan; and
- if a local government decides not to hold a Public Hearing, it must provide notice of the proposed date of the First Reading of the applicable zoning amendment bylaw.

In keeping with the above and as the subject bylaw is consistent with the policies and land use designation of the Electoral Areas "B" and "C" Official Community Plan, a notice will be posted in accordance with the provisions of Section 467 of the *Local Government Act* to advise the public that the Board of Directors will consider giving First Reading to Zoning Amendment Bylaw No. 3006 at a future meeting once the applicant has posted a development notice sign in accordance with the Development Application Procedures and Administrative Fees Bylaw No. 2677.

Should the Board of Directors wish to hold a Public Hearing for Bylaw No. 3006, a resolution could be passed to forward the Bylaw to a Public Hearing after Second Reading has been given. Notice of the Public Hearing would be provided in accordance with the provisions of 466 of the *Local Government Act* and the Hearing would be held prior to considering Third Reading.

ZONING BYLAW:

The subject property is zoned Residential Two Family (R.2). The uses permitted in the R.2 zone include single family dwellings, two family dwellings, secondary suites, accessory buildings and structures, boarding houses, minor daycares and group homes, home occupation. The applicant is proposing to rezone the property to the Light Industrial (I.1) zone. Uses permitted in the I.1 zone include food services, retail sales, manufacturing and processing, services and repair, warehousing, transportation facilities; and an owner/operator dwelling unit. All permitted uses in the I.1 zone must be housed completely within an enclosed building, except for outdoor display, rental, sale or storage yards, parking and loading facilities.

Lots proposed to be subdivided in the I.1 zone must have an area of not less than 560 m² where the lot is serviced by a community sewer system and 1 ha where the lot is serviced by an on-site septic system.

The height of buildings in the I.1 zone must not exceed 12 m. Lot coverage must not be greater than 60%. Buildings or structures must be setback 6 m from the front and exterior side lot lines and 0 m from side and rear lot lines. If the lot adjoins a lot in a Rural or Residential zone (as is the case with the subject property), setbacks must be 9 m from the rear lot line, and 6 m from an interior side lot line.

Any industrial development that abuts a highway is required to provide a landscaped buffer with a minimum width of 3.0 m. Where a parking or display area associated with a lot used for industrial purposes abuts a Residential zoned lot, screening of 2 m in height must be provided along the common property boundary.

Where a specific industrial use is not specified, parking must be provided at a rate of 1.5 parking spaces per 100 m² of gross floor area. For office use, 2.8 spaces must be provided per 100 m² of office space. A total of 2 loading spaces must be provided for industrial buildings having a gross floor area between 450 m² and 2,300 m².

The proposed development complies with the above noted regulations.

HOLDING TANK BYLAW:

Any development intending to rely on holding tanks as a means of sewage servicing are governed by the requirements of the RDNO Holding Tank Sewage Disposal Bylaw 671, 1985, and requirements under the Building Bylaw 2670, 2015, as well as provincial requirements administered by Interior Health. Under Section 301, the Holding Tank Bylaw applies “to all public buildings, recreational, commercial and industrial development within Electoral Areas “B”, “C”, “D”, “E” and “F” of the Regional District where a community sewer system is not available and a sewage disposal permit cannot be obtained pursuant to the Sewage Disposal Regulations.”

With regard to Policy 7.1.11 of the Electoral Areas “B” and “C” OCP, which directs that the Regional District may consider a rezoning where the applicant has submitted all information outlined in the Holding Tank Bylaw, there are no information submission requirements per se. However, the applicant must have obtained a holding tank permit from the ‘Public Health’ Inspector prior to installing a holding tank.

OFFICIAL COMMUNITY PLAN:

The Electoral Areas “B” and “C” Official Community Plan designates the land use of the subject property as Mixed Commercial / Light Industrial. The following OCP Policies are applicable to the application:

Mixed Commercial/Light Industrial

1. Direct Commercial and Light Industrial uses to areas designated as Mixed Commercial/Light Industrial on the General Land Use Map.

2. Extend community sewer infrastructure servicing along the Highway 97 Mixed Commercial and Light Industrial Corridor.
3. Encourage property owners of underutilized Mixed Commercial and Light Industrial designated parcels in the Highway Corridor to redevelop, increase densities, and make more effective use of the land base if community sewer services are extended to this area.
4. Consider potential increases to traffic when reviewing new commercial development opportunities and encourage the Ministry of Transportation and Infrastructure to minimize any such impacts through the use of traffic calming measures.
5. The Swan Lake Corridor with its mixed commercial and light industrial designation is to provide much needed light industrial, service commercial and large format commercial uses for the region that cannot be accommodated in other areas.
6. Consider amending the Zoning Bylaw to create a new light industrial zone that removes uses that may negatively impact nearby and surrounding environmental features.

Light Industrial Policies

1. Consider potential environmental and health impacts of proposed light industrial uses.
2. Ensure compatibility between light industrial uses and existing adjacent and nearby uses.
3. Extend community sewer servicing along Highway 97 to service light industrial lands.
4. Encourage more intensive and effective use of existing light industrial lands that have been identified as underutilized.

Swan Lake Commercial District Policies

1. The Regional District will consider zoning changes within the Swan Lake Commercial District consistent with the policies of this Plan including:
 - a. Because of the sensitive environmental conditions that exist within the Swan Lake Commercial District due to the proximity to Swan Lake as well as the problematic soil and hydrological conditions, the Regional District recognizes two options for an on-site sewage disposal and stormwater management system as follows:
 - i. Where the proposed land use generates a maximum daily sewage flow of 1400 litres or less, then the Regional District will consider an application based on the design recommendations of an engineer on the condition that a Covenant be registered to not permit a land use that exceeds this maximum; or
 - ii. Where the proposed land use generates a maximum daily sewage flow in excess of 1400 litres, the Regional District will consider an application based on a review of the proposed on-site sewage disposal and stormwater management system that includes:
 - a. a hydrological assessment that reviews the local groundwater and surface water conditions with consideration of possible contamination of Swan Lake;
 - b. a geotechnical evaluation from a geotechnical engineer that reviews local soil conditions with the identification of a primary and separate backup drainfield which areas would be protected by a covenant;
 - c. a design for a sewage disposal and stormwater management system prepared by a civil engineer.
2. The Regional District may consider a rezoning application based on a holding tank where the applicant has submitted all information as outlined in the "Holding Tank Bylaw."
3. The Regional District will consider a rezoning application based on a sewage connection to a community sewer system.

4. As a condition precedent for the approval of a rezoning bylaw, the Regional District will generally request that a Covenant be registered to prohibit the subdivision of land until a community sewer system is available.

Gateway Policies

1. Within the north gateway (Swan Lake Corridor), encourage a mixture of Commercial and Industrial uses east of the highway with a form and character that respects the importance of the gateway location and is consistent with the area's unique character.
2. Use site planning, building design, and landscaping to reduce negative visual impacts of development, particularly as seen from Highway 97.
3. Limit direct access on to and off of Highway 97.

Utility Policies

1. The Regional District supports the provision of sewer services for health and environmental purposes specifically in areas where on-site sewage disposal is problematic.
2. Require applicants for new development to pay for any new or expanded water infrastructure that is needed.
3. Extend the community sewage collection system in a phased manner in accordance with the wastewater recover project.

Transportation Policies

1. The function of Highway 97 as a Provincial Highway serving inter-regional travel will be maintained with the designation of sufficient right-of-way width; by controlling access points; and by ensuring that development of adjacent land does not adversely affect the function of the highway.
2. Where the Regional District is involved in planning for future roads and subdivisions or plans for improvements to existing roads, consideration will be given to the needs of public transit, school buses, pedestrian walkways and bicycle routes.
3. Encourage the Ministry of Transportation and Infrastructure to widen road shoulders to improve safety and encourage pedestrian activity on all roads with a priority on Pleasant Valley and L&A Road.

Industrial Development Permit Area

The Regional District has an objective of ensuring that the form and character of commercial and industrial developments are appropriately integrated into the rural setting and coordinated with existing developments in these areas. All properties that are designated or become zoned for Industrial uses will require a Development Permit for form and character. Unless a Development Permit exemption applies, all development on lands zoned Industrial will require a Development Permit prior to subdivision and issuance of a Building Permit.

The Swan Lake Commercial Corridor Development Permit Guidelines recommend the "use site planning, building design and landscaping to provide continuous pedestrian access and circulation along the length of the Swan Lake Corridor as identified in Schedule "H". Attached to this report is a copy of Schedule "H".

Riparian and Swan Lake Development Permit Area

The objective of the Riparian and Swan Lake Development Permit Area designation is to regulate development activities and their riparian areas in order to preserve natural features, functions and conditions that support natural processes. Unless a Development Permit exemption applies, development on lands within a Riparian Assessment Area and on lands within the Swan Lake Commercial Area which are zoned Industrial or Commercial will require a Riparian and Swan Lake Development Permit prior to subdivision, land alteration or the issuance of a Building Permit.

REFERRAL COMMENTS:

The application was referred for comments to the following:

1. RDNO Building Inspection Department

2. RDNO Utilities Department

Properties located in the Greater Vernon Water service area are subject to all applicable RDNO Bylaws, Policies and Procedures. Design drawings to be submitted to Greater Vernon Water. The RDNO to collect all applicable fees relating to development. Water meters are required to be located in approved water meter pits or kiosks at property line if the length of water service within the property is to be greater than 20 meters before entering the building. Developer to submit Hydraulic Model Inquiry Application at subsequent development to determine offsite waterworks upgrade requirements. Develop to GVW standards.

In reviewing that easement/ SRW agreement, it looks like it expressly prohibits driving in fence posts and planting trees/ shrubs. It doesn't expressly prohibit an access crossing it. We do have a 100 mm diameter water main from around 1970 through the middle of that SRW, according to our records. Records of that age aren't always totally accurate, but there is a water main in that right of way. Any access would have to be designed and constructed in a manner that avoids damaging the water main and maintains our minimum cover of 1.5 meters. It may be a moot point, as any development will trigger the GVW subdivision and Development Servicing Bylaw (Bylaw No. 2650). At minimum, the water main in the SRW and along their frontage will have to be replaced with a larger diameter main (200 mm minimum for commercial and light industrial zoning). Our previous referral response to the rezoning application indicated that a hydraulic model inquiry will be required to determine the extent of offsite upgrades. In conclusion, I would expect that a water main upgrade will be triggered by the time they are looking at building that access.

3. RDNO Parks Department

We would normally require a minimum of 6m width for a trail RoW, so we can go with that unless there is an alternate specification to use for a pedestrian corridor along a roadway.

4. RDNO Community Services

5. RDNO Rural Services

6. Interior Health Authority

7. Ministry of Transportation and Infrastructure

The Ministry of Transportation and Infrastructure (MoTI) has received and reviewed the updated proposal received September 5, 2024 to redesignate the subject property within the OCP from MC/LI to LI and rezone the property from R.2 to L.1. Preliminary Approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the Transportation Act, subject to the following condition:

1. The Transportation Act applies and an access permit will be required before works commence for access to Elmwood Road. The permit can be applied for at the following link: www.gov.bc.ca/highway-use-permits.
2. No storm drainage shall be directed toward Elmwood Road or 97 Frontage Road (Elmwood Rd INT). This would include but is not limited to collection/run-off of the internal road system or development run-off. All surface and subsurface drainage/storm water from the development is to be dealt with onsite.

8. BX Swan Lake Fire Department

Submitted by:



Heather Shannon
Planner

Reviewed by:



Greg Routley
Deputy Planning Manager

Endorsed by:



Rob Smailes, RPP, MCIP
General Manager, Planning and Building

Approved for inclusion:

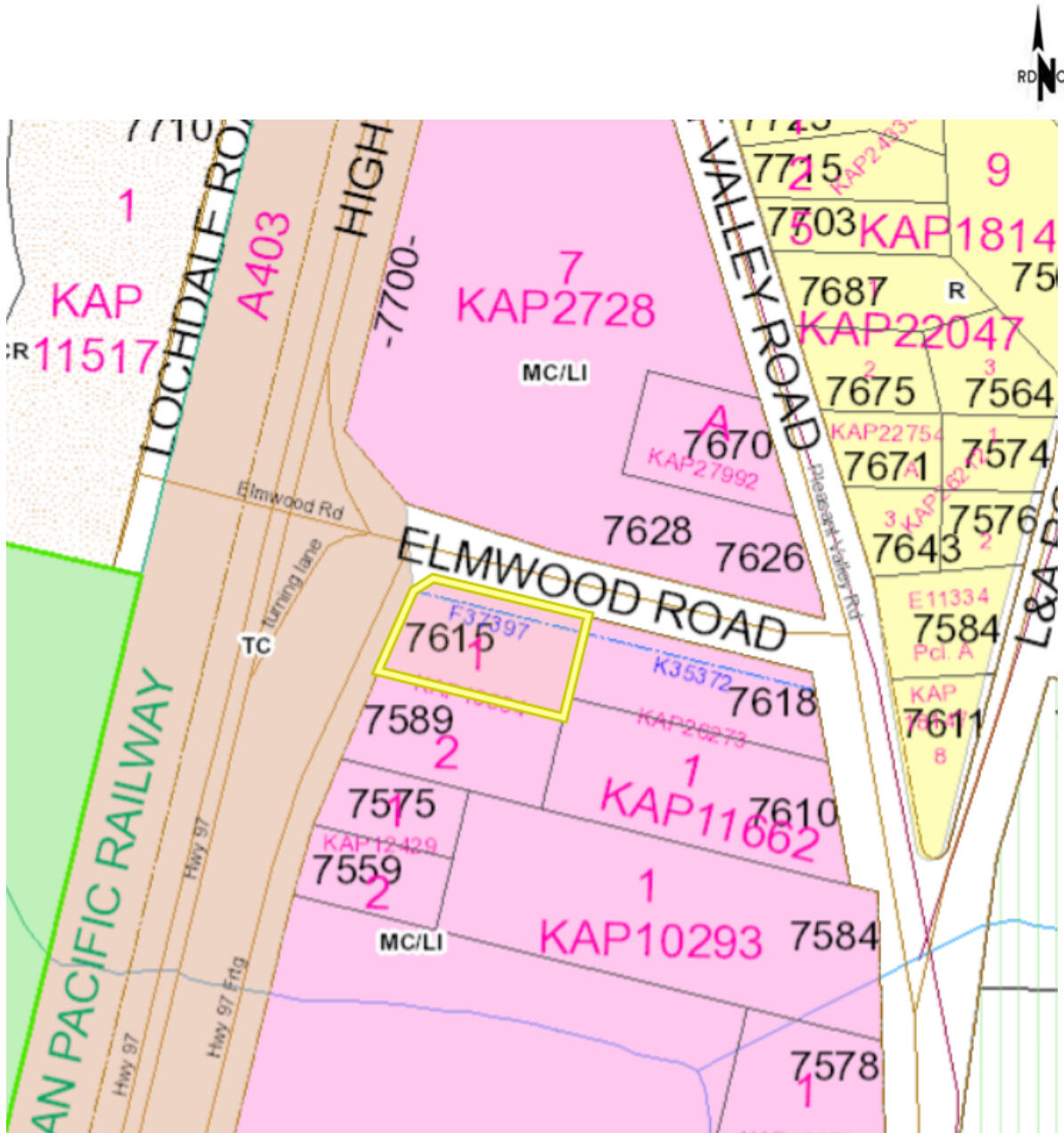


David Sewell
Chief Administrative Officer

SUBJECT PROPERTY MAP REZONING APPLICATION

OCP Designation

File: 23-1096-B-RZ
Location: 7615 Highway 97



MC/LI = Mixed Commercial/Light Industrial
TC = Transportation Corridor
R = Residential



THIS DOCUMENT CONTAINS THE SITE PLAN, ELEVATIONS, AND ASSOCIATED DESIGN DETAILS FOR THE PROPOSED LIGHT INDUSTRIAL DEVELOPMENT AT 7615 HIGHWAY 97.

THE SUBMISSION INCLUDES ALL NECESSARY CALCULATIONS, ZONING CONSIDERATIONS, AND VISUAL REPRESENTATIONS TO SUPPORT THE REZONING AND DEVELOPMENT APPLICATION.

THE ARCHITECTURAL DESIGN INTEGRATES FUNCTIONALITY WITH AESTHETIC APPEAL, ALIGNING WITH THE STANDARDS SET FORTH BY THE REGIONAL DISTRICT OF NORTH OKANAGAN ZONING BYLAW AND THE BRITISH COLUMBIA BUILDING CODE

THE PROPOSED BUILDING SETBACKS SHOWN ASSUME A LIGHT INDUSTRIAL ZONE (I.1) DESIGNATION. IN ACCORDANCE WITH THE "REGIONAL DISTRICT OF NORTH OKANAGAN ZONING BYLAW NO. 3000, 2023." THESE DRAWINGS HAVE BEEN PREPARED FOLLOWING THE REGULATIONS AND STANDARDS SET FORTH IN THE BYLAW, INCLUDING BUT NOT LIMITED TO USE REGULATIONS, DENSITY REGULATIONS, AND DEVELOPMENT REGULATIONS. ALL DESIGN AND PLANNING CONSIDERATIONS HAVE BEEN MADE TO ENSURE COMPLIANCE WITH THE CURRENT ZONING REQUIREMENTS.

SITE PLAN & ELEVATIONS

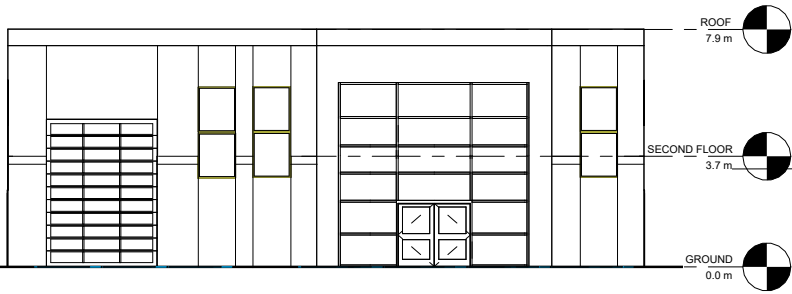
PROPOSED BUILDING ON REM LOT 1, PLAN 138884, SEC 23, TP 8, ODYD FOR REZONING APPLICATION PURPOSES

PROJECT

7615 HIGHWAY 97

Date	Project Number	Scale (@ A4)	REV
2023/11/01	7615		
Drawn by	DRAWING NUMBER		
Author	D1		
Checked by			
Checker			

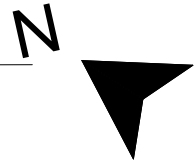
CRN *Studio*



NOTE:
FOR LIGHT INDUSTRIAL (I.1) ZONE THE HEIGHT OF BUILDINGS AND STRUCTURES MUST NOT EXCEED 12 m. THE PROPOSED BUILDING HEIGHT OF 7.9 m

NOTE:
THE PROPOSED LOADING AREA MUST MEET 2 SPACES A PERRDNO ZONING BYLAW 8.2.1, THE TOTAL GFA OF 450 m² to 2,300 m² MUST MEET 2 SPACES REQUIRED. AT LEAST 9 m IN LENGHT, 2.4m IN WIDTH, AND 3.7m IN HEIGHT

PROPOSED OUTDOOR LOADING BAYS ACCES FROM ELMWOOD ROAD



1 WEST ELEVATION
1 : 250

NOTE:
25% OF THE TOTAL NUMBER OF REQUIRED PARKING SPACES MAY BE MADE UP OF SMALL CAR PARKING SPACES THAT MUST BE AT LEAST 5.2 M IN LENGTH, 2.3 M IN WIDTH, AND 2.2 M IN HEIGHT.

ALL SMALL CAR PARKING AREAS IDENTIFIED BY A SIGN INDICATING "SMALL CAR PARKING ONLY".

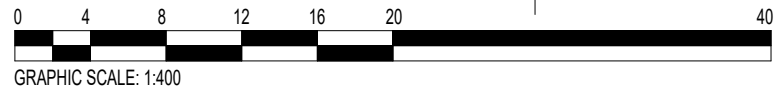
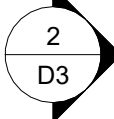
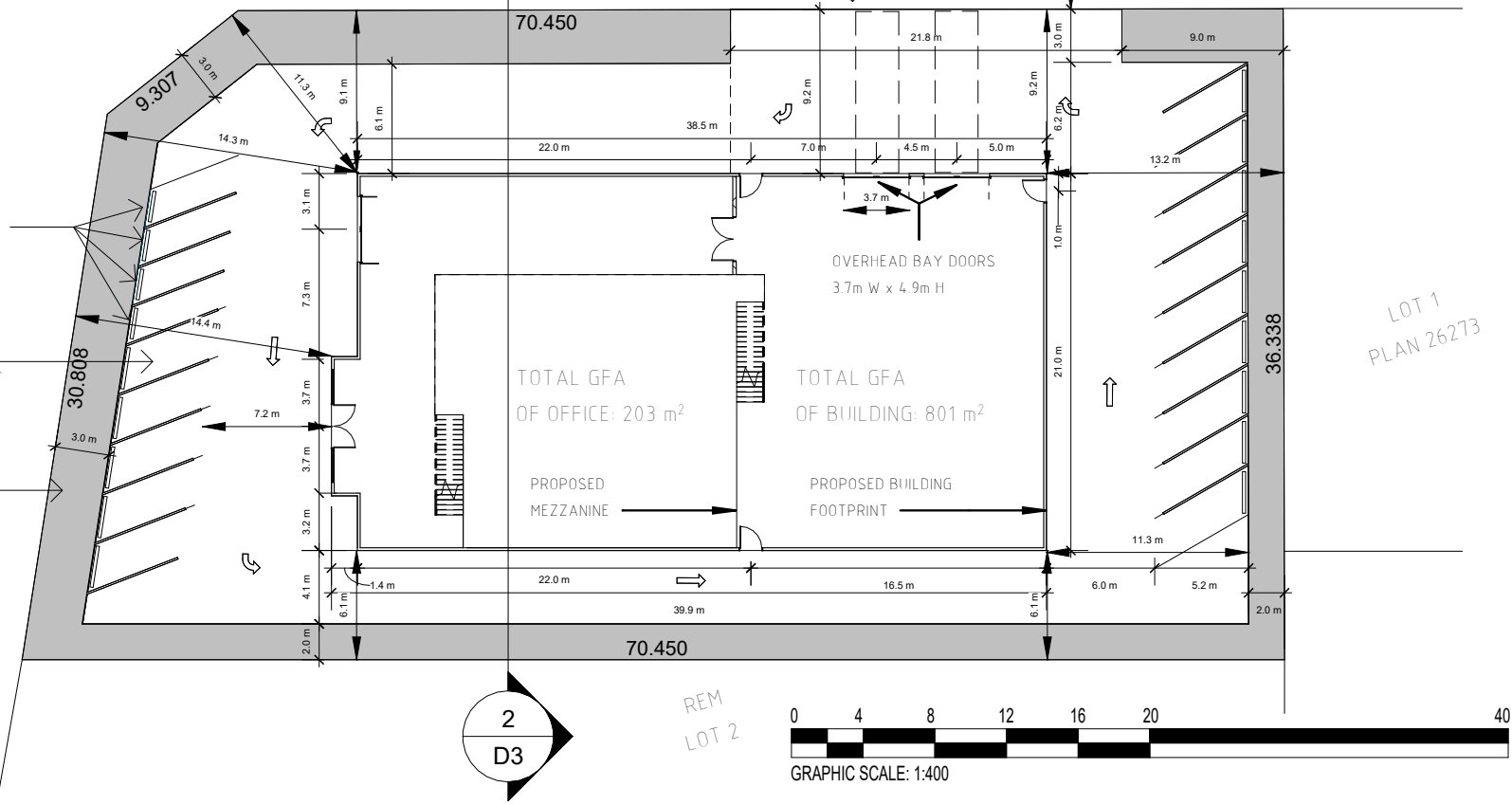
6 m x 2.8 m, 60° PARKING LOTS CURBED WITH RAISED ASPHALT DIRECTIONAL SIGNAGE

PROPOSED LANDSCAPING

NOTE:
2 m, WHERE THE PROPERTY ABUTS A LOT IN A RESIDENTIAL ZONE.

3 m, WHERE THE PROPERTY ABUTS ANY OTHER ROAD.

2 SITE PLAN
1 : 400



<u>Lot Coverage Calculation</u>	
Lot Area = 2434 m ² Proposed Building Area = 801 m ² Lot Coverage = 33% (Allowable is 60%)	
<u>Parking lots Calculations</u>	
Proposed Gross Building Area = 801 m ² Proposed Office = 203 m ²	1.5p / 100m ² gfa 2.8p / 100m ² gfa
Parking lots = 17.69 = 18 Lots	25% small = 4 Lots

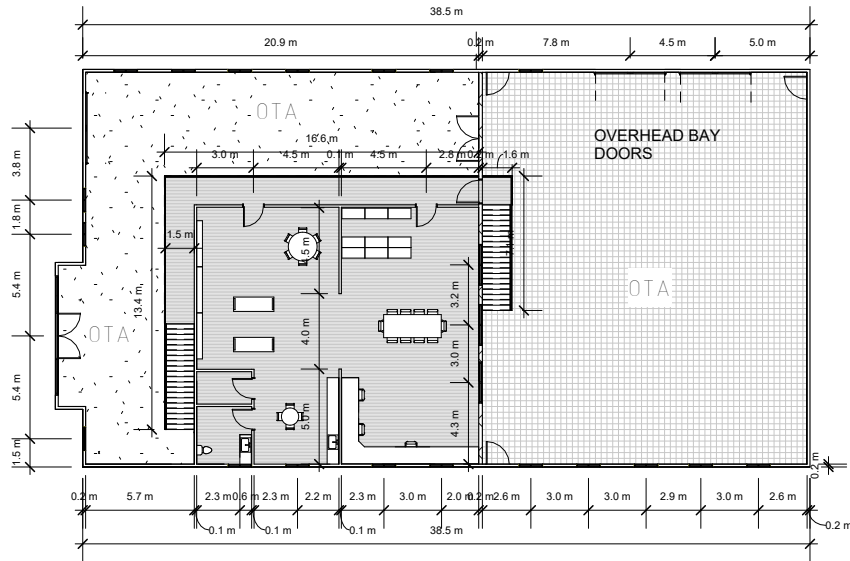
SITE PLAN & ELEVATIONS

PROJECT
7615 HIGHWAY 97

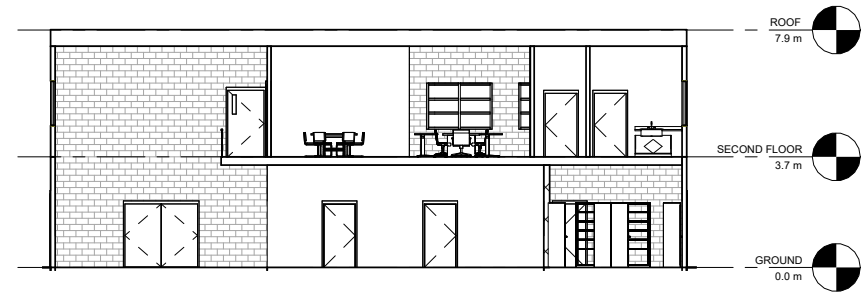
PROPOSED BUILDING ON REM LOT 1, PLAN 138884, SEC 23, TP 8, ODYD FOR REZONING APPLICATION PURPOSES

Date	Project Number	Scale (@ A4)	REV
2023/11/01	7615	As indicated	
Drawn by	DRAWING NUMBER		
CRN Studio	D2		
Checked by	n/a		

CRN Studio



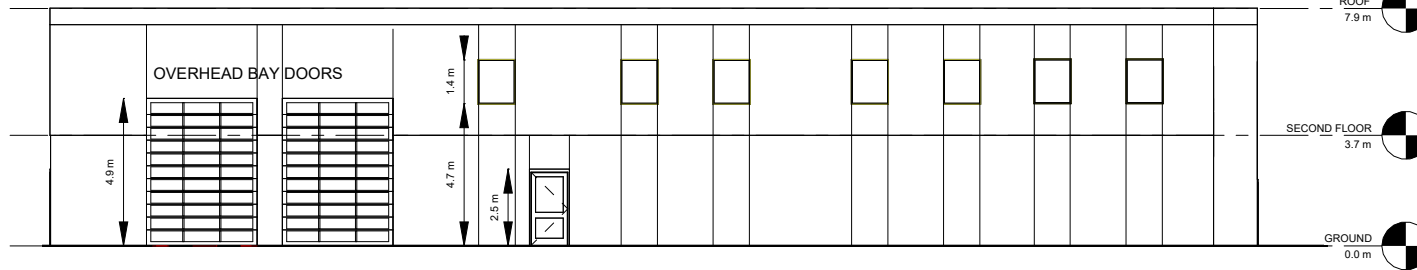
1 SECOND FLOOR
1 : 400



NOTE:
THE MEZZANINE LEVEL, ACCESSIBLE VIA AN INTERNAL STAIRCASE, PROVIDES ADDITIONAL OFFICE SPACE AND STORAGE. THE STRUCTURAL DESIGN OF THE MEZZANINE ENSURES THAT IT INTEGRATES SEAMLESSLY WITH THE OVERALL BUILDING ARCHITECTURE, PROVIDING A STABLE AND SECURE PLATFORM FOR UPPER-LEVEL ACTIVITIES. THE CONSTRUCTION INCLUDES STEEL FRAMING AND A COMPOSITE DECK, OVERLAID WITH A REINFORCED CONCRETE SLAB TO MEET ALL LOAD-BEARING AND SAFETY REQUIREMENTS.

THE MEZZANINE LEVEL WILL BE CONSTRUCTED USING STEEL FRAMING WITH A COMPOSITE METAL DECK. THE STEEL BEAMS WILL TYPICALLY BE W200X27 (200MM DEPTH, 27KG/M WEIGHT) OR SIMILAR, SPACED AT APPROPRIATE INTERVALS TO SUPPORT THE ANTICIPATED LOADS. AS PER REVISIONS OF ENGINEER

2 SECTION-MEZZANINE
1 : 250

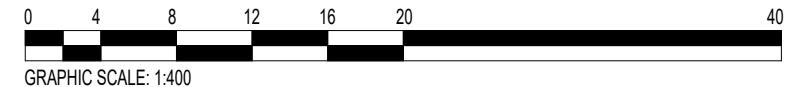


NOTE:
THE EXTERIOR DESIGN FEATURES A COMBINATION OF PRE-FABRICATED METAL PANELS (IMP), TYPICALLY 1.2M IN WIDTH AND 2.4M TO 12M IN LENGTH, PAIRED WITH FIBER-REINFORCED CEMENT BOARDS RANGING FROM 9MM TO 12MM IN THICKNESS.

THE ASSEMBLY ALSO INCLUDES 50MM TO 100MM RIGID FOAM INSULATION FOR ENHANCED THERMAL EFFICIENCY AND DURABILITY, ENSURING THE BUILDING MEETS THE STANDARDS FOR LIGHT INDUSTRIAL USE.

THESE MATERIALS, ARRANGED HORIZONTALLY, OFFER A SLEEK, INDUSTRIAL AESTHETIC WITH A CONCRETE-LIKE TEXTURE THAT GROUNDS THE DESIGN.

3 NORTH ELEVATION
1 : 250



THE NORTH ELEVATIONS SHOWS THE OVERHEAD BAYDOORS, WITH AN HIGHT OF 4.9m WHILE THE LOADING SPACE IS LOCATED OUTSIDE.

SITE PLAN & ELEVATIONS

PROPOSED BUILDING ON REM LOT 1, PLAN 138884, SEC 23, TP 8, ODYD FOR REZONING APPLICATION PURPOSES

PROJECT

7615 HIGHWAY 97

Date 2023/11/01	Project Number 7615	Scale (@ A4) As indicated	REV
Drawn by Author	DRAWING NUMBER		
Checked by Checker	D3		

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1 NORTH-EAST VIEW

2 NORTH-WEST VIEW

NOTE:

LANDSCAPING AROUND THE SITE HAS BEEN DESIGNED NOT ONLY TO ENHANCE THE BUILDINGS APPEARANCE BUT ALSO TO MAINTAIN THE NATURAL CHARACTER OF THE ENVIRONMENT. THE SITE PLAN INCORPORATES STRATEGIC PLANTING AND GREEN SPACES THAT SOFTEN THE INDUSTRIAL AESTHETIC, PROVIDING AN APPEALING FRONTAGE WHILE ALIGNING WITH REGIONAL ENVIRONMENTAL STANDARDS. VEHICULAR ACCESS IS EFFICIENTLY MANAGED THROUGH WELL-DEFINED PARKING AREAS AND LOADING ZONES, SUPPORTED BY DIRECTIONAL SIGNAGE AND AMPLE CIRCULATION SPACE TO ACCOMMODATE LIGHT INDUSTRIAL OPERATIONS. THESE FEATURES COLLECTIVELY ENSURE THAT THE PROJECT MEETS ZONING AND ENVIRONMENTAL STANDARDS FOR THE I.1 (LIGHT INDUSTRIAL) ZONE AS OUTLINED IN LOCAL BYLAWS AND THE BRITISH COLUMBIA BUILDING CODE (BCBC), INCLUDING CONSIDERATIONS FOR BUILDING SETBACKS AND LOT COVERAGE REQUIREMENTS.

THE PROVIDED RENDERS SHOWCASE THE PROPOSED LIGHT INDUSTRIAL FACILITY WITHIN ITS SURROUNDING ENVIRONMENT, DEMONSTRATING A THOUGHTFUL INTEGRATION OF THE BUILDING DESIGN WITH THE LOCAL LANDSCAPE. THE FACILITY, INTENDED FOR LIGHT INDUSTRIAL USE, EMPHASIZES AN EFFICIENT YET AESTHETICALLY CONSCIOUS APPROACH TO LAND USE, WITH A MODERN EXTERIOR OF PREFABRICATED METAL PANELS AND FIBER-REINFORCED CEMENT BOARDS THAT HARMONIZE WITH THE RUGGED TERRAIN OF THE AREA.

SITE PLAN & ELEVATIONS

PROPOSED BUILDING ON REM LOT 1, PLAN 138884, SEC 23, TP 8, ODYD FOR REZONING APPLICATION PURPOSES

PROJECT

7615 HIGHWAY 97

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Author	D4		
Checked by			
Checker			

CRN *Studio*



REGIONAL DISTRICT OF
NORTH OKANAGAN

ELECTORAL AREAS B & C
OFFICIAL COMMUNITY PLAN

Schedule H
Swan Lake Corridor

To Accompany Official Community
Plan Bylaw No. 2626, 2014.

LEGEND

— Pedestrian access / circulation



Schedule "H" to accompany Regional District of North Okanagan "Electoral Areas "B" and "C" Official Community Plan Bylaw No. 2626, 2014"

I hereby certify the foregoing to be a true and correct copy of Schedule "H" attached to and forming part of Bylaw No. 2626, 2014 cited as "Electoral Areas "B" and "C" Official Community Plan Bylaw No. 2626, 2014" as ADOPTED the Board of Directors on the 3rd day of September, 2014.

Dated at Coldstream, BC this 8th day of September, 2014

[Signature]
Corporate Officer